

171 Victoria Road, Horwich, Bolton, BL6 5PJ



## Offers In The Region Of £180,000

Spacious and well presented three bedroom mid terraced property, offering excellent family accommodation with two spacious reception rooms dining kitchen and three generous bedrooms and bathroom with three piece suite.

- 3 bedroom Mid Terrace
- Large Kitchen Diner
- No Chain
- EPC Rating E
- 2 Reception Rooms
- Gas Central Heated and Double Glazed
- Vacant Possession
- Council Tax Band B



Situated on this highly sought after road ideally located for access to local amenities, shops and schools, this superb family house offers excellent accommodation comprising :- Hallway, lounge, dining room, dining kitchen. To the first floor there are three generous bedrooms and bathroom fitted with a three piece suite. outside there is a small garden to the front and yard area with off road parking to the rear.

### **Vestibule**

UPVC double glazed entrance door, door to:

### **Hallway**

Stairs to first floor landing, door to:

### **Lounge 11'9" x 11'8" (3.58m x 3.56m)**

UPVC double glazed bay window to front, fireplace with marble effect surround, radiator, coving to ceiling.

### **Sitting Room 13'3" x 12'7" (4.04m x 3.84m)**

UPVC double glazed window to rear, radiator, door to:

### **Kitchen/Diner 16'10" x 8'2" (5.13m x 2.49m)**

Fitted with a matching range of base and eye level cupboards with contrasting round edged worktops, stainless steel sink unit with single drainer and mixer tap with tiled splashbacks, plumbing for washing machine, space for fridge/freezer and tumble dryer, electric point for cooker, uPVC double glazed window to rear, uPVC double glazed window to side, built-in under-stairs storage cupboard, radiator, ceramic tiled flooring, door.

### **Landing**

Door to:

### **Bedroom 1 12'0" x 15'6" (3.65m x 4.72m)**

UPVC double glazed window to front, radiator, coving to ceiling.

### **Bedroom 2 13'5" x 10'0" (4.08m x 3.05m)**

UPVC double glazed window to rear, radiator.

### **Bedroom 3 10'1" x 8'2" (3.08m x 2.49m)**

UPVC double glazed window to rear, radiator.

### **Bathroom**

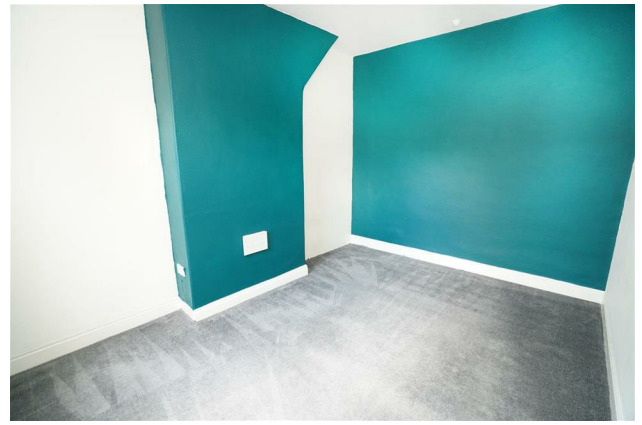
Fitted with three piece white suite comprising deep panelled bath with shower over and glass screen and inset wash hand basin in vanity unit with cupboards under, WC with hidden cistern, full height ceramic tiling to all walls, heated towel rail, uPVC frosted double glazed window to side, ceramic tiled flooring.

### **Outside**

Front garden, enclosed by dwarf brick wall and mature hedge to front and sides, paved pathway leading to front



entrance door with gravelled area.  
Rear, brick wall and timber fencing to rear and side, paved sun patio, concrete hard standing, rear gated access.



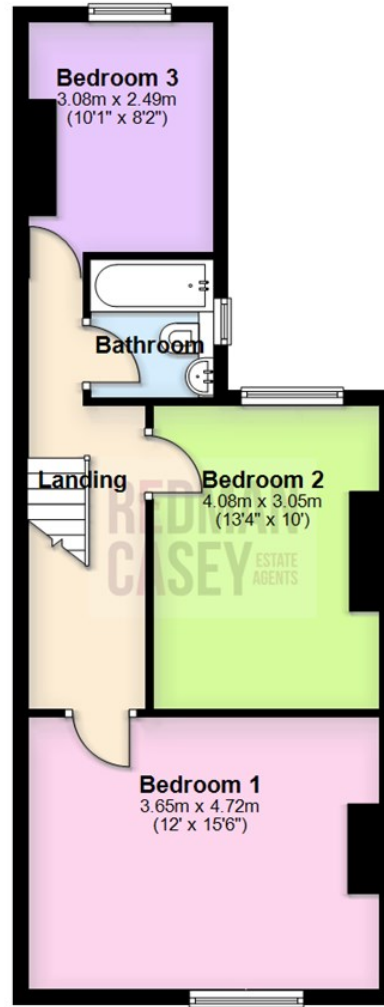
### Ground Floor

Approx. 49.5 sq. metres (532.4 sq. feet)



### First Floor

Approx. 49.8 sq. metres (535.6 sq. feet)



Total area: approx. 99.2 sq. metres (1068.0 sq. feet)

The information provided in this brochure has been approved by the vendor, however they do not represent any form of contract and it must not be assumed that they are a final detail of what is being left in the property. The floor plans provided are a representation only and must not be relied upon for exact measurements. Please note, we have not tested any appliances or services and do not imply any warranty or guarantee unless specifically mentioned.

Plan produced using PlanUp.

#### Energy Efficiency Rating

	Current	Potential
Very energy efficient - lower running costs		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
(21-38) <b>F</b>		
(1-20) <b>G</b>		
Not energy efficient - higher running costs		
<b>England &amp; Wales</b>	EU Directive 2002/91/EC	

#### Environmental Impact (CO<sub>2</sub>) Rating

	Current	Potential
Very environmentally friendly - lower CO <sub>2</sub> emissions		
(92 plus) <b>A</b>		
(81-91) <b>B</b>		
(69-80) <b>C</b>		
(55-68) <b>D</b>		
(39-54) <b>E</b>		
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Not environmentally friendly - higher CO <sub>2</sub> emissions		
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